



**Lee Hall Program Study**  
**Intramurals & Recreation**

# Preferred Concepts & Project Phasing

SUCF Project No. 101005



# Agenda

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- **Preferred Concepts**
  - Existing Site Plan
  - Existing Floor Plans
  - Minimal Build-Out
  - Full Build-Out
- **Phasing Summary**
  - Project Priorities
  - Project Phasing
- **Cost Estimates**
  - Square Foot Costs
  - Other Costs
  - Minimal Build-Out
  - Full Build-Out
- **Future Considerations**
- **Next Steps**



# Preferred Concepts



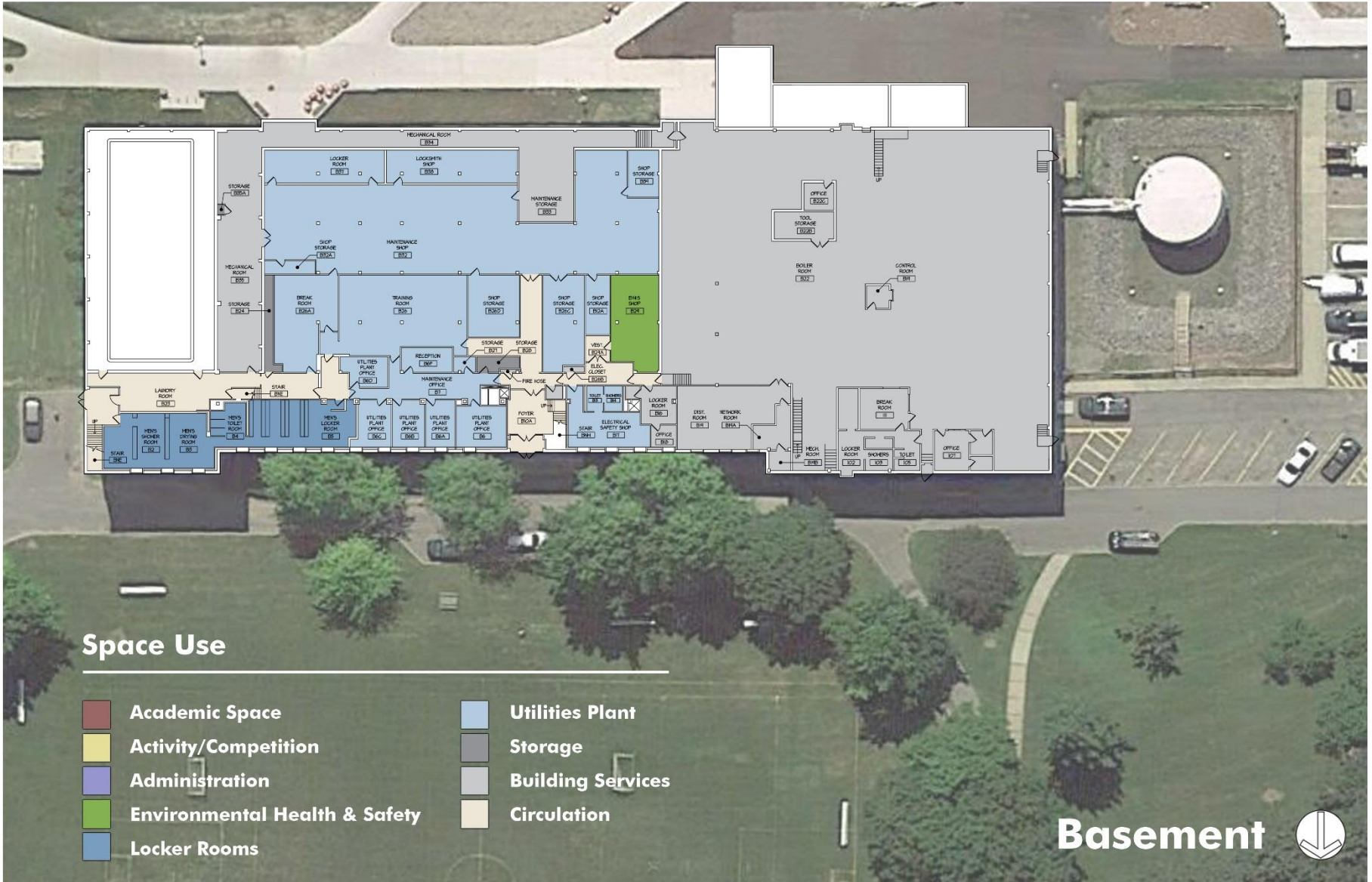


# Existing Site Plan





# Existing Floor Plans

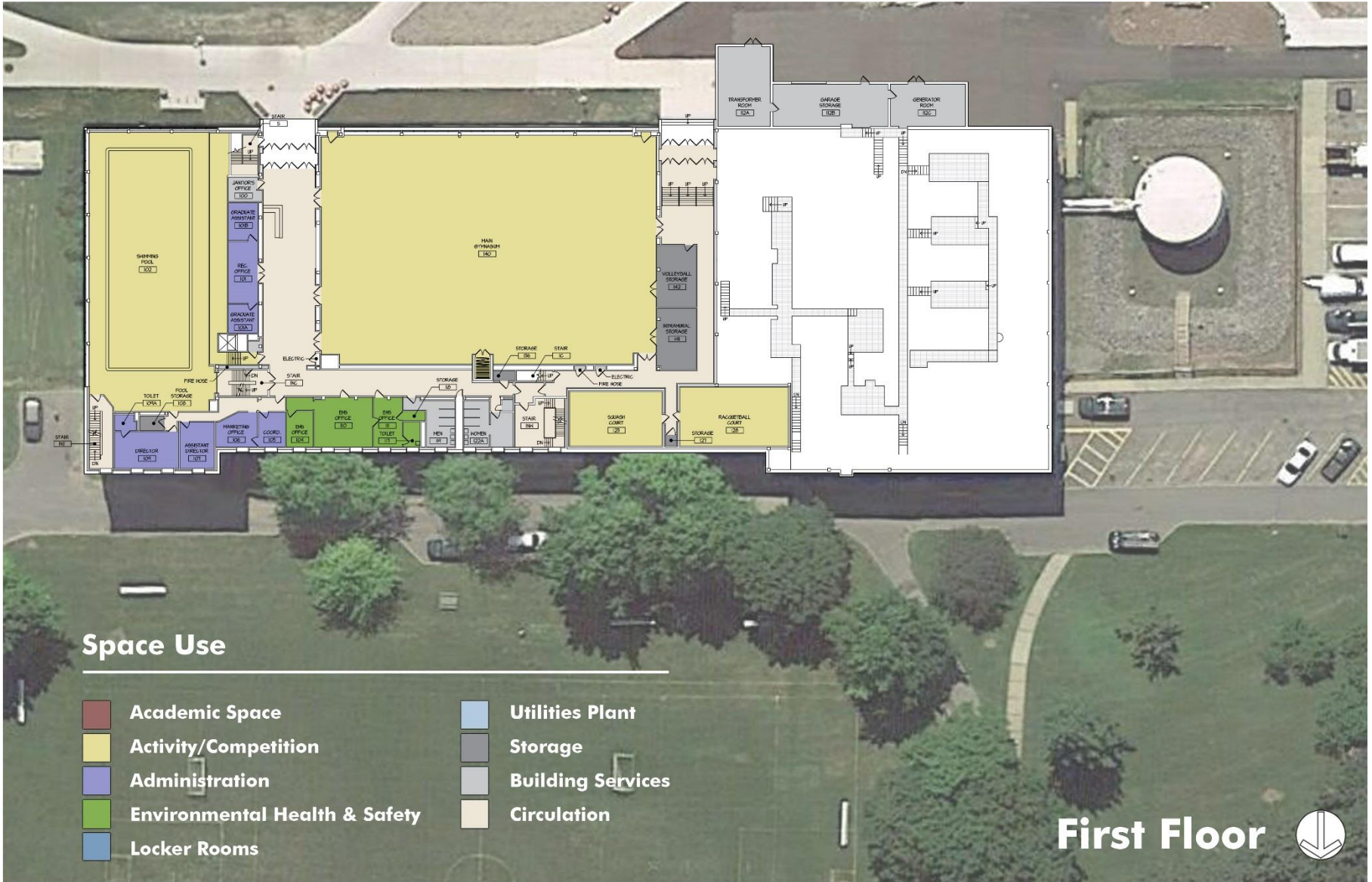


## Space Use

- |                                                                                     |                               |                                                                                     |                   |
|-------------------------------------------------------------------------------------|-------------------------------|-------------------------------------------------------------------------------------|-------------------|
|  | Academic Space                |  | Utilities Plant   |
|  | Activity/Competition          |  | Storage           |
|  | Administration                |  | Building Services |
|  | Environmental Health & Safety |  | Circulation       |
|  | Locker Rooms                  |                                                                                     |                   |

**Basement** 

# Existing Floor Plans



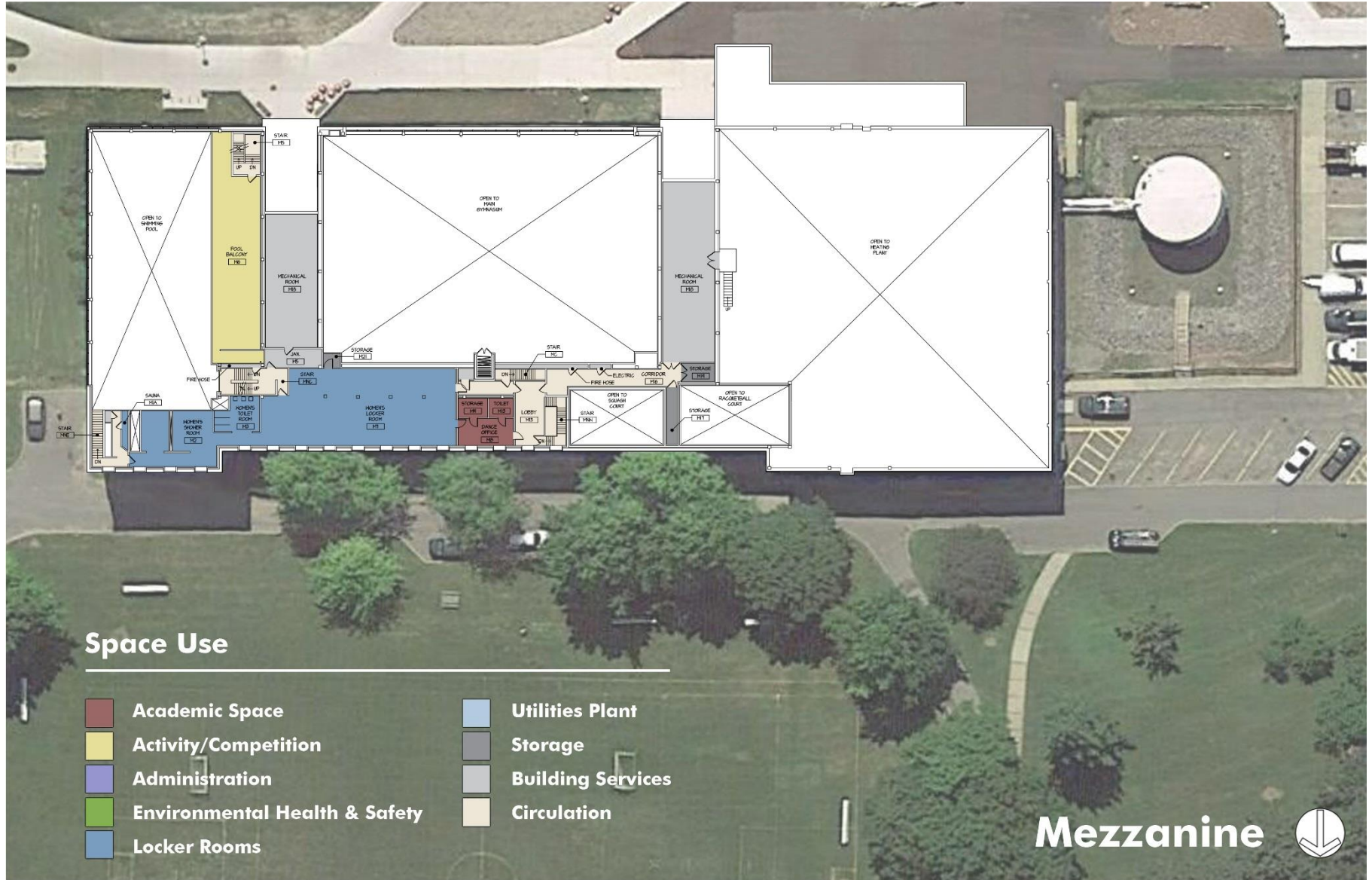
## Space Use

- |                                                                                                                                                           |                                                                                                                                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #8B4513; border: 1px solid black;"></span> Academic Space                | <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Utilities Plant   |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #FFD700; border: 1px solid black;"></span> Activity/Competition          | <span style="display: inline-block; width: 15px; height: 15px; background-color: #808080; border: 1px solid black;"></span> Storage           |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #6A5ACD; border: 1px solid black;"></span> Administration                | <span style="display: inline-block; width: 15px; height: 15px; background-color: #D3D3D3; border: 1px solid black;"></span> Building Services |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #32CD32; border: 1px solid black;"></span> Environmental Health & Safety | <span style="display: inline-block; width: 15px; height: 15px; background-color: #FFDAB9; border: 1px solid black;"></span> Circulation       |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #6495ED; border: 1px solid black;"></span> Locker Rooms                  |                                                                                                                                               |

**First Floor** 



# Existing Floor Plans

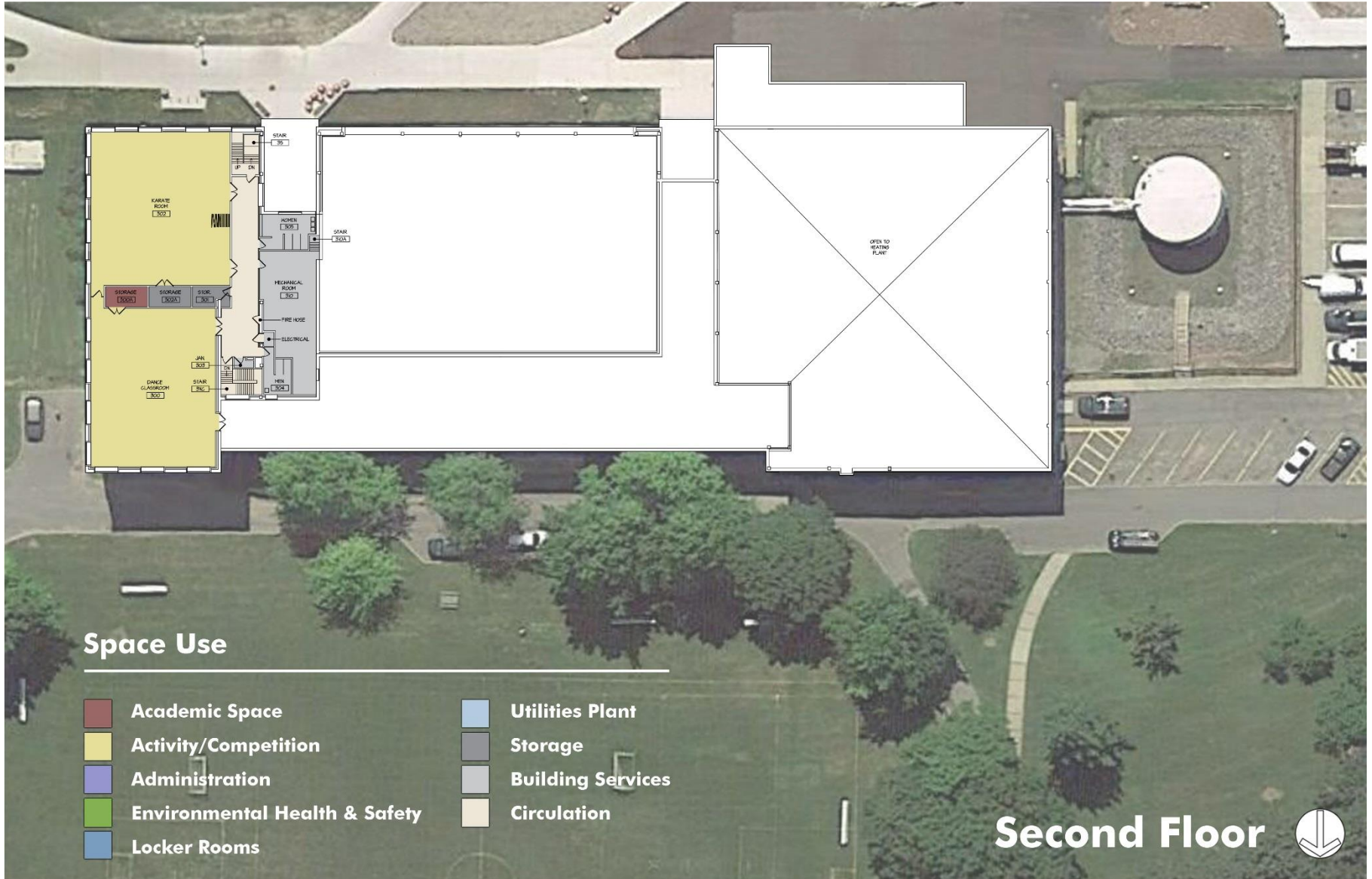


## Space Use

- |                                                                                     |                               |                                                                                     |                   |
|-------------------------------------------------------------------------------------|-------------------------------|-------------------------------------------------------------------------------------|-------------------|
|  | Academic Space                |  | Utilities Plant   |
|  | Activity/Competition          |  | Storage           |
|  | Administration                |  | Building Services |
|  | Environmental Health & Safety |  | Circulation       |
|  | Locker Rooms                  |                                                                                     |                   |

Mezzanine 

# Existing Floor Plans





# Minimal Build-Out Space Summary\*



**OSWEGO**  
STATE UNIVERSITY OF NEW YORK

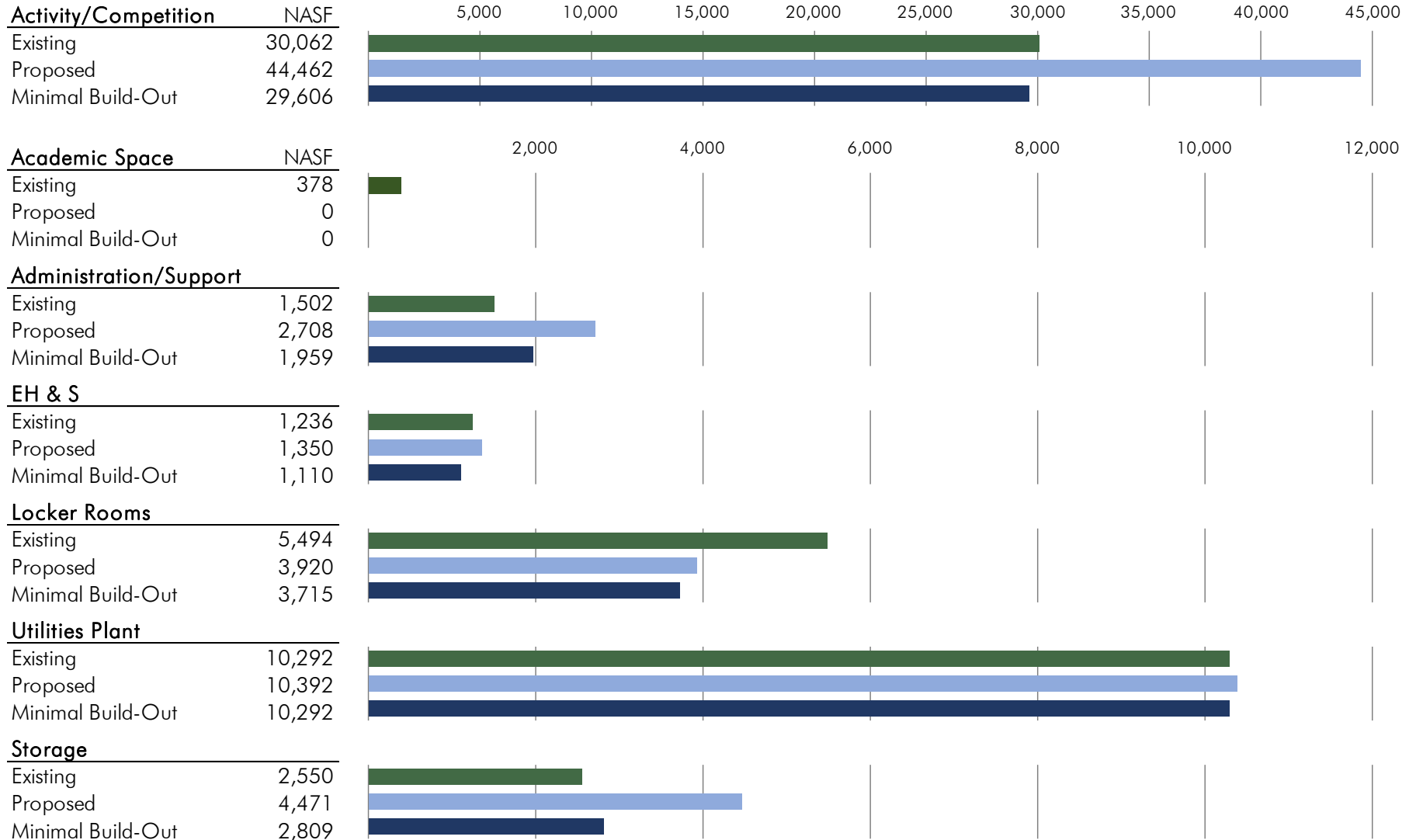
Space Type	Existing NASF	Proposed NASF	Minimal Build-Out NASF	Delta Existing NASF	Delta Proposed NASF
Activity/Competition	30,062	44,462	29,606	(456)	(14,856)
Academic Space	378	0	0	(378)	0
Administration/Support	1,502	2,708	1,959	457	(749)
EH&S	1,236	1,350	1,110	(126)	(240)
Locker Rooms	5,494	3,920	3,715	(1,779)	(205)
Utilities Plant	10,292	10,392	10,292	0	(100)
Storage	2,550	4,471	2,809	259	(1,662)
<b>Total</b>	<b>51,514</b>	<b>67,303</b>	<b>49,491</b>	<b>(2,023)</b>	<b>(17,812)</b>

\* Includes space at Campus Center

# Minimal Build-Out Space Summary\*



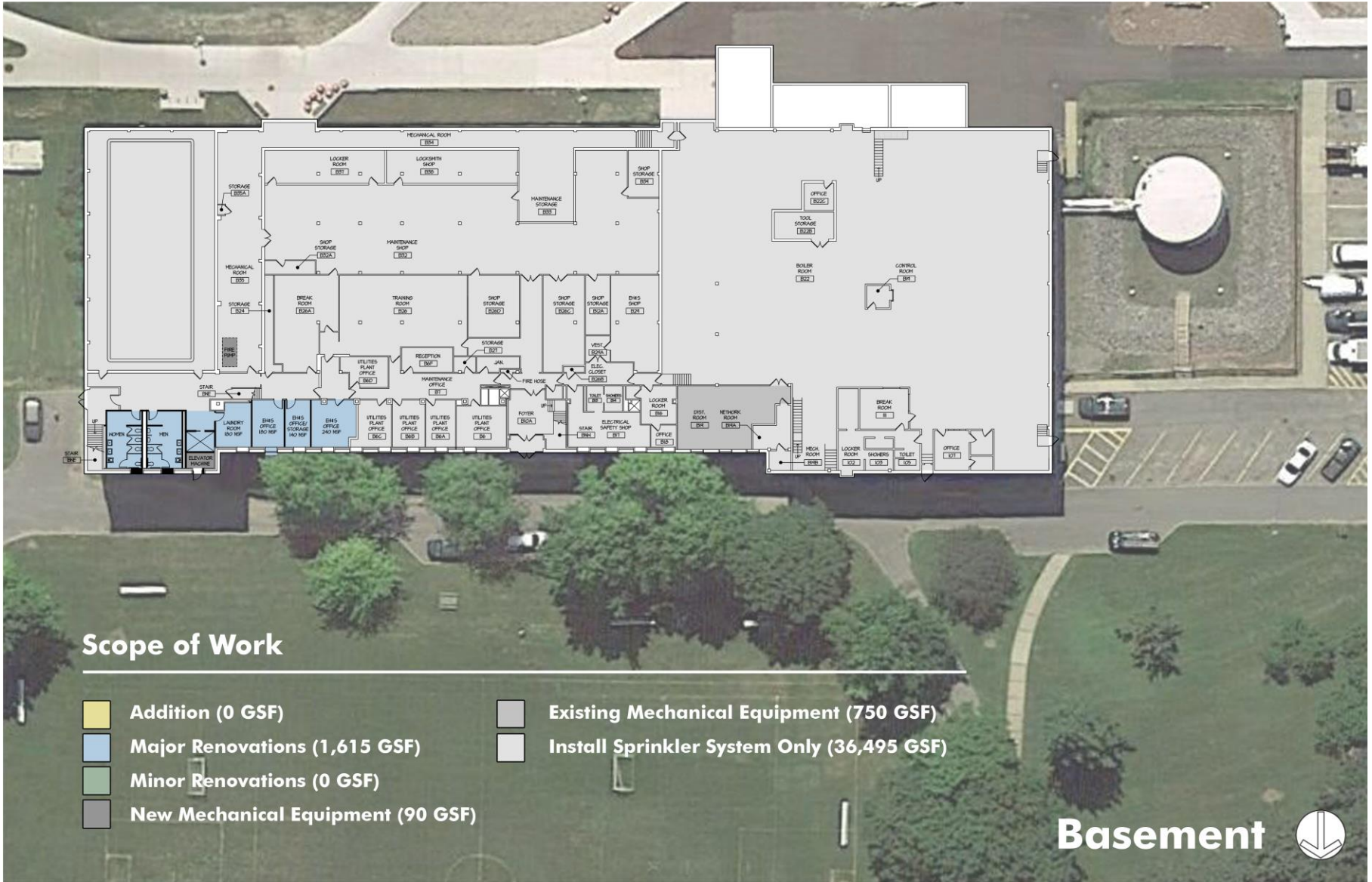
**OSWEGO**  
STATE UNIVERSITY OF NEW YORK



\* Includes space at Campus Center



# Minimal Build-Out Floor Plans

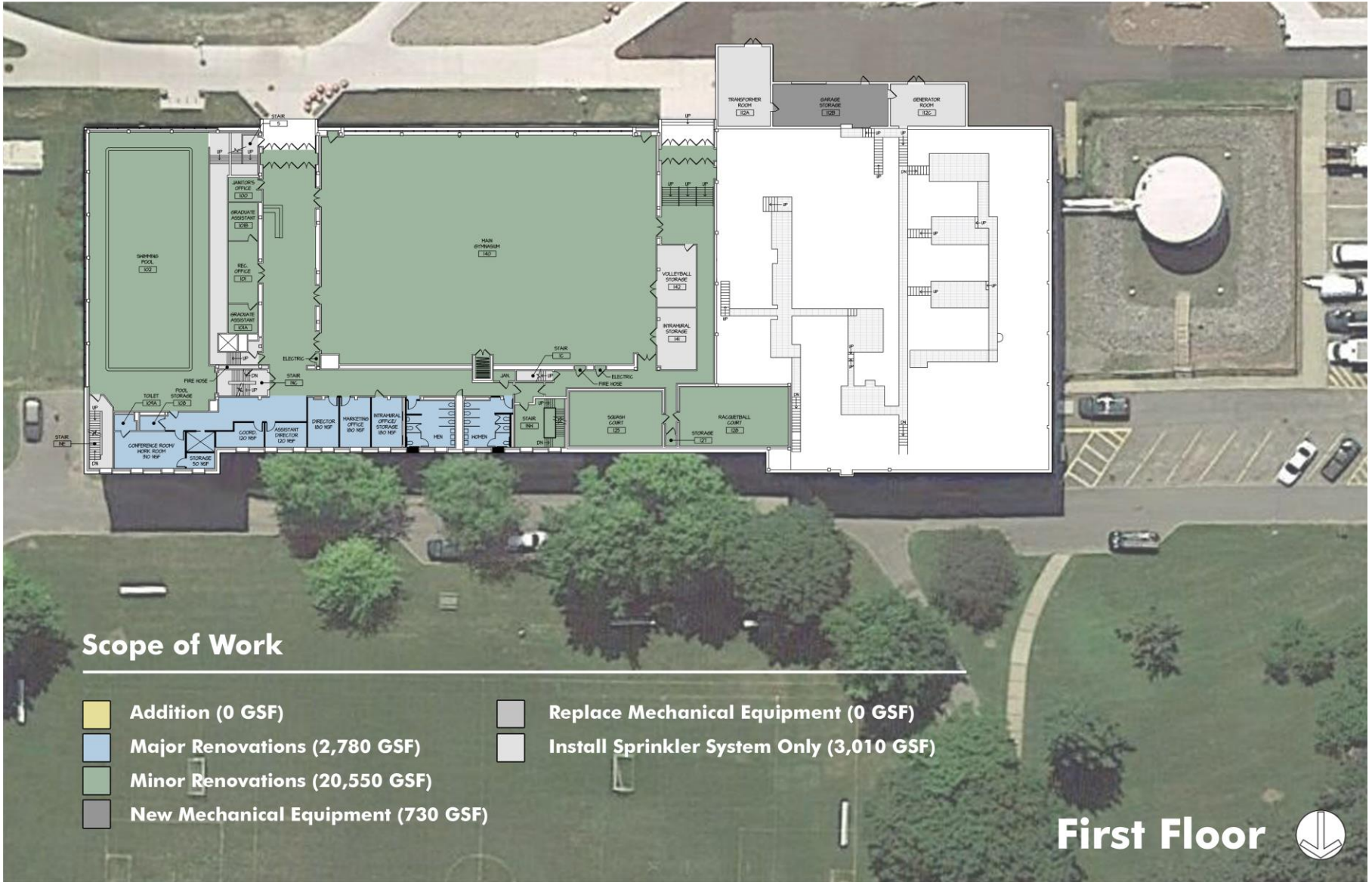


## Scope of Work

- |                                                                                     |                                   |                                                                                     |                                            |
|-------------------------------------------------------------------------------------|-----------------------------------|-------------------------------------------------------------------------------------|--------------------------------------------|
|  | Addition (0 GSF)                  |  | Existing Mechanical Equipment (750 GSF)    |
|  | Major Renovations (1,615 GSF)     |  | Install Sprinkler System Only (36,495 GSF) |
|  | Minor Renovations (0 GSF)         |                                                                                     |                                            |
|  | New Mechanical Equipment (90 GSF) |                                                                                     |                                            |

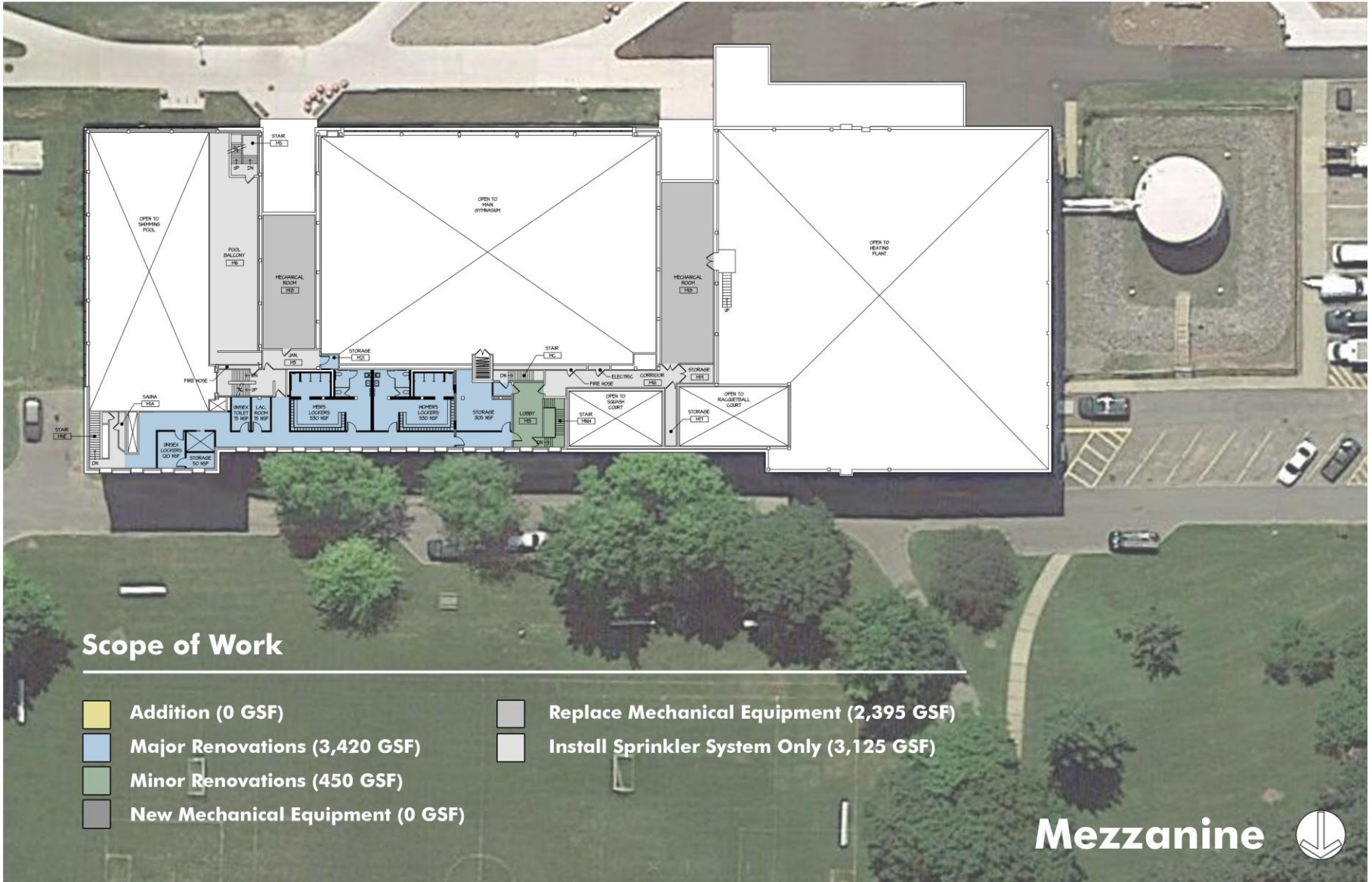
**Basement** 

# Minimal Build-Out Floor Plans



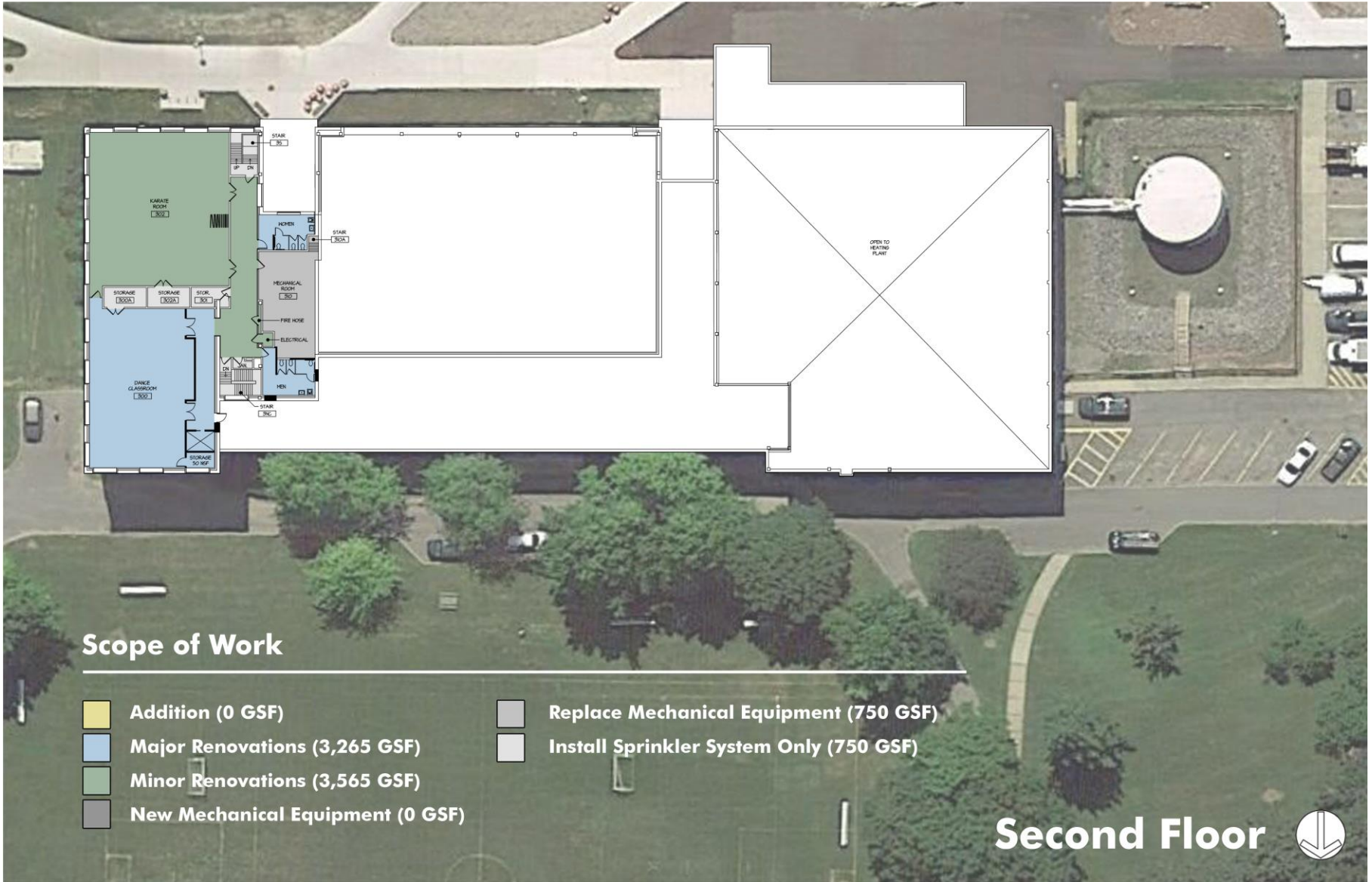


# Minimal Build-Out Floor Plans





# Minimal Build-Out Floor Plans



# Full Build-Out Space Summary\*

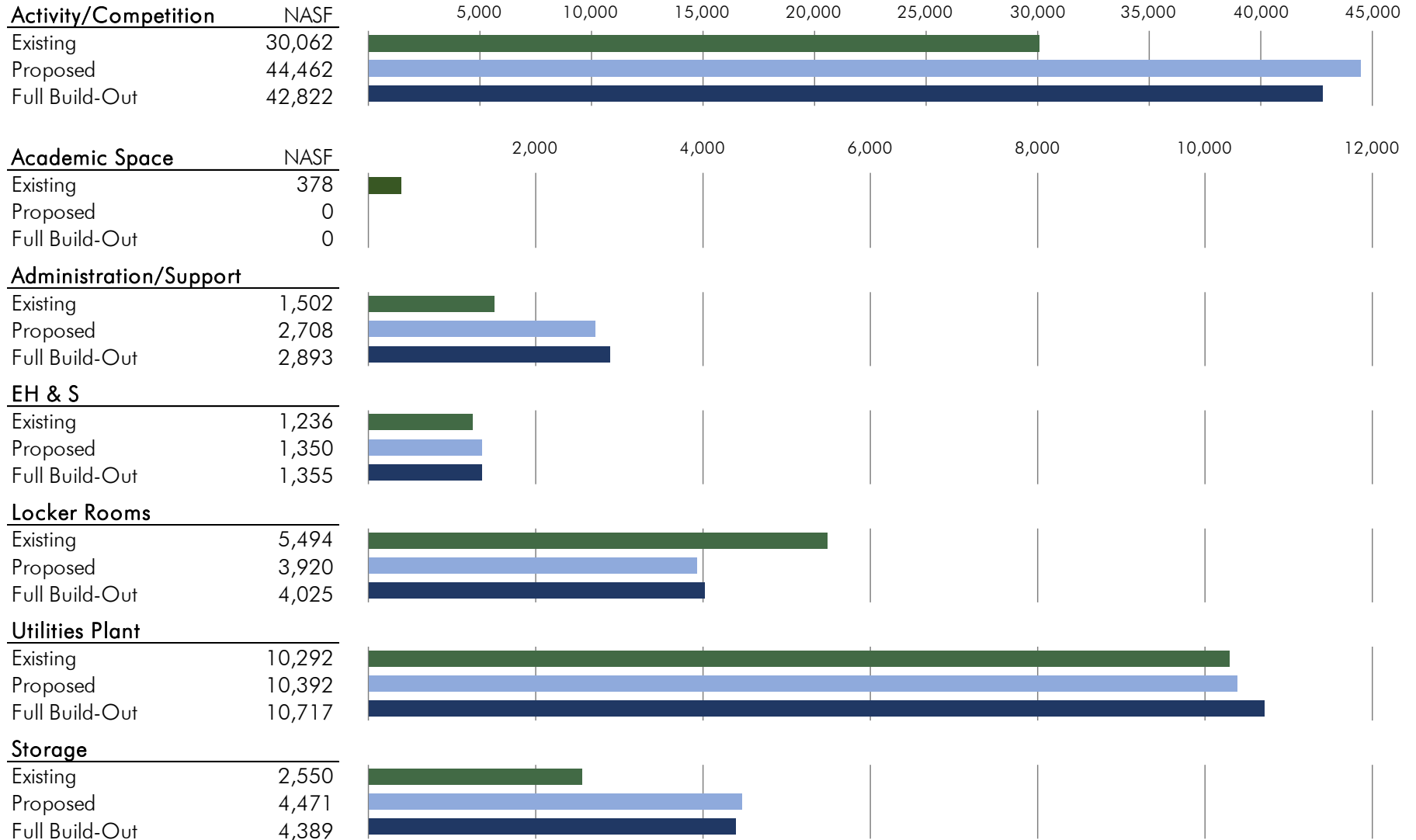


Space Type	Existing NASF	Proposed NASF	Full Build-Out NASF	Delta Existing NASF	Delta Proposed NASF
Activity/Competition	30,062	44,462	42,822	12,760	(1,640)
Academic Space	378	0	0	(378)	0
Administration/Support	1,502	2,708	2,893	1,391	185
EH&S	1,236	1,350	1,355	119	5
Locker Rooms	5,494	3,920	4,025	(1,469)	105
Utilities Plant	10,292	10,392	10,717	425	325
Storage	2,550	4,471	4,389	1,839	(82)
<b>Total</b>	<b>51,514</b>	<b>67,303</b>	<b>66,201</b>	<b>14,687</b>	<b>(1,102)</b>

\* Includes space at Campus Center



# Full Build-Out Space Summary\*



\* Includes space at Campus Center

# Full Build-Out Floor Plans



## Scope of Work


- Addition (14,550 GSF)
- Major Renovations (5,720 GSF)
- Minor Renovations (0 GSF)
- New Mechanical Equipment (320 GSF)
- Replace Mechanical Equipment (750 GSF)
- Install Sprinkler System Only (32,160 GSF)



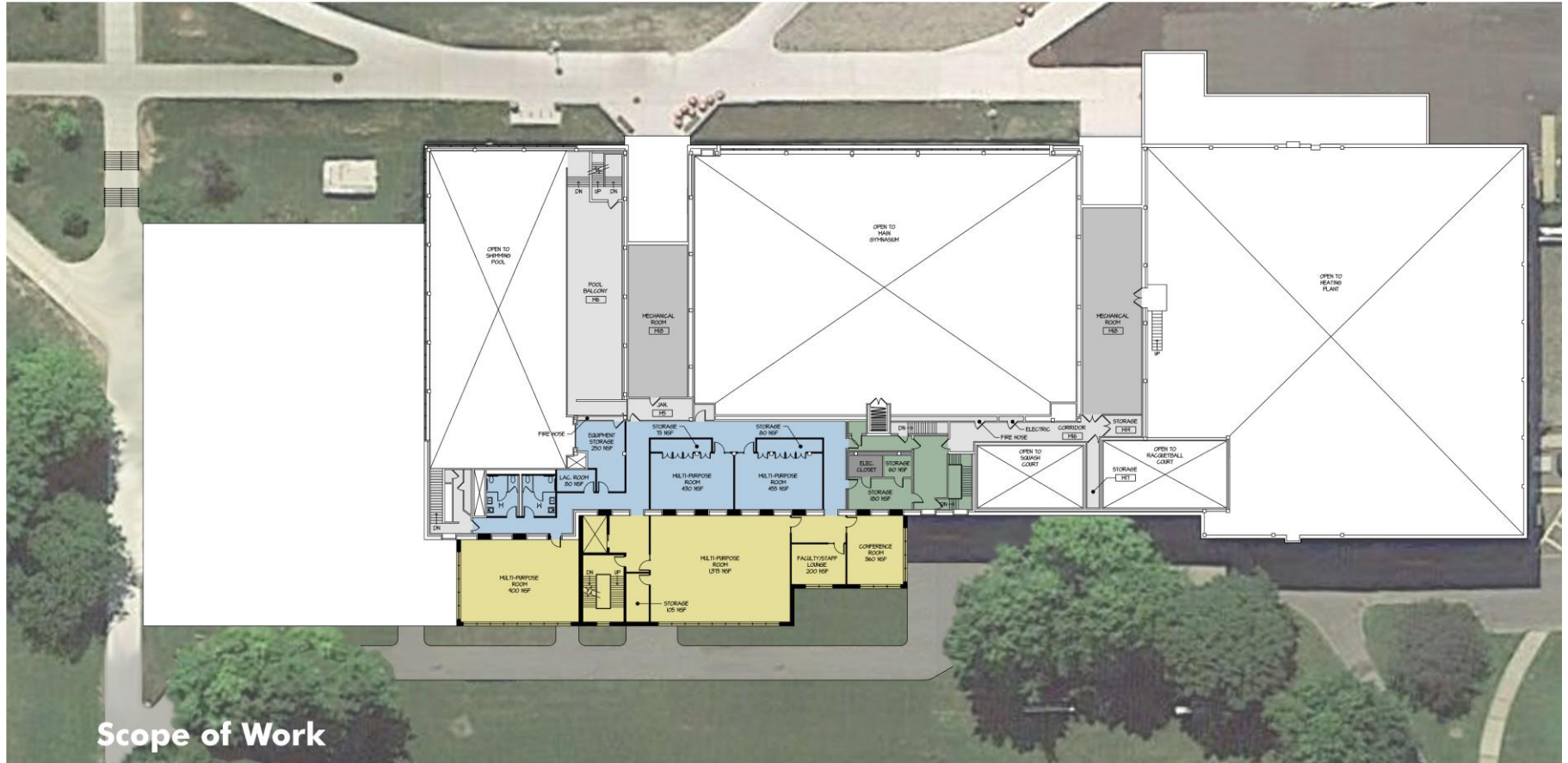
# Full Build-Out Floor Plans



## Scope of Work

- |                                                                                     |                                           |                                                                                     |                                                  |
|-------------------------------------------------------------------------------------|-------------------------------------------|-------------------------------------------------------------------------------------|--------------------------------------------------|
|  | <b>Addition (3,930 GSF)</b>               |  | <b>Replace Mechanical Equipment (0 GSF)</b>      |
|  | <b>Major Renovations (4,270 GSF)</b>      |  | <b>Install Sprinkler System Only (2,840 GSF)</b> |
|  | <b>Minor Renovations (19,230 GSF)</b>     |                                                                                     |                                                  |
|  | <b>New Mechanical Equipment (730 GSF)</b> |                                                                                     |                                                  |

# Full Build-Out Floor Plans



## Scope of Work







- Addition (3,930 GSF)
- Major Renovations (3,100 GSF)
- Minor Renovations (890 GSF)
- New Mechanical Equipment (80 GSF)
- Replace Mechanical Equipment (2,395 GSF)
- Install Sprinkler System Only (2,925 GSF)



# Full Build-Out Floor Plans



## Scope of Work

- |                                                                                     |                                         |                                                                                     |                                                |
|-------------------------------------------------------------------------------------|-----------------------------------------|-------------------------------------------------------------------------------------|------------------------------------------------|
|  | <b>Addition (1,160 GSF)</b>             |  | <b>Replace Mechanical Equipment (750 GSF)</b>  |
|  | <b>Major Renovations (810 GSF)</b>      |  | <b>Install Sprinkler System Only (520 GSF)</b> |
|  | <b>Minor Renovations (6,250 GSF)</b>    |                                                                                     |                                                |
|  | <b>New Mechanical Equipment (0 GSF)</b> |                                                                                     |                                                |

**Second Floor** 



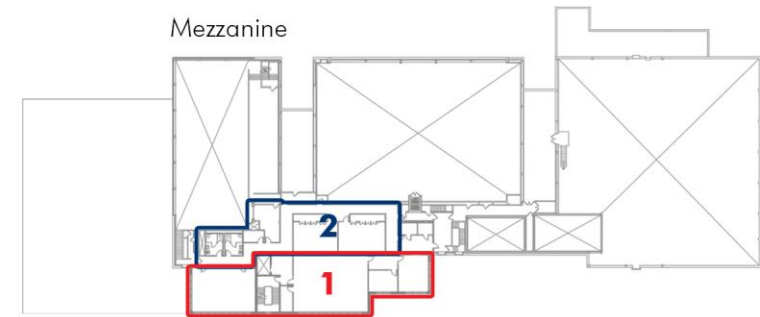
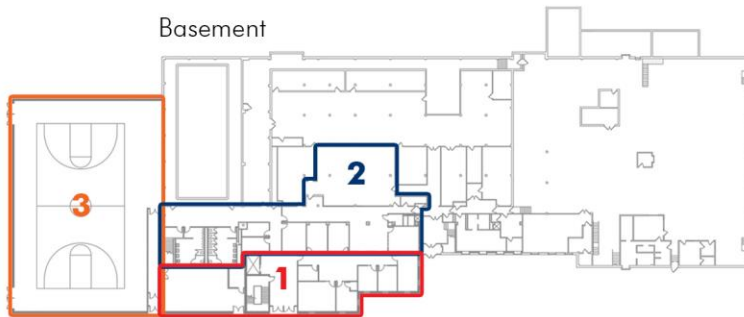
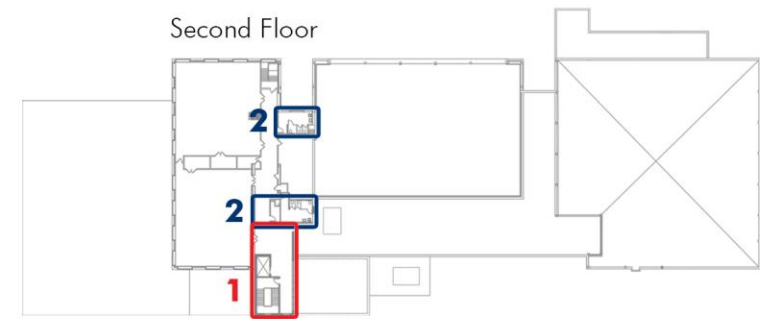
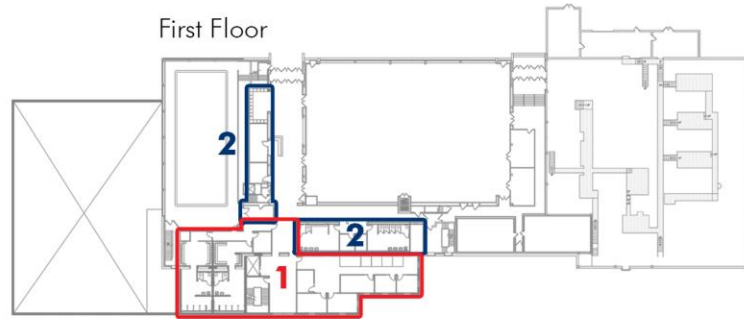


## Phasing Summary



- **Upgrade Outdated Facilities**
  - Upgrade Interior Finishes
  - Replace Mechanical Equipment
  - Provide Air-Conditioning
- **Accessibility**
  - Install Elevator
  - Upgrade Locker Rooms/Toilet Rooms
- **Additional Space to Accommodate Programs**
- **Additional Storage Space**

# Project Phasing



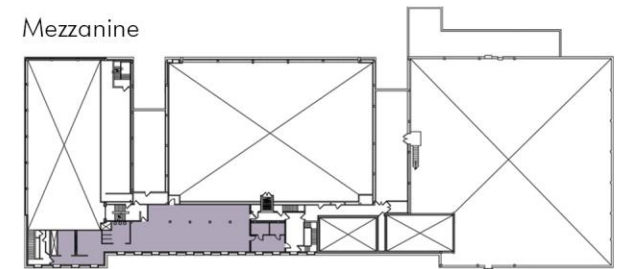
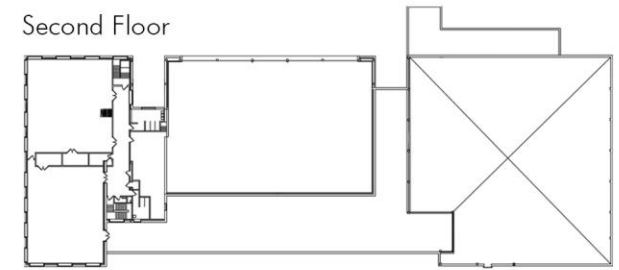
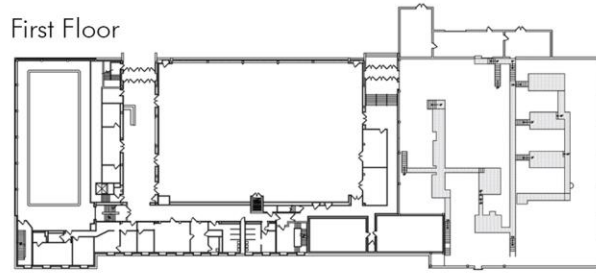
**Phase 1:** 18 Months

**Phase 2:** 12 Months

**Phase 3:** 12 Months



# Underutilized Space



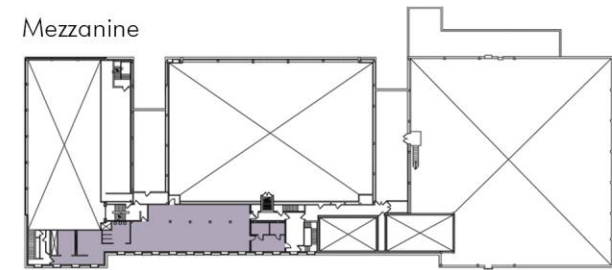
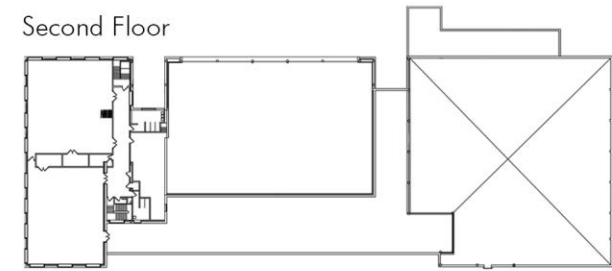
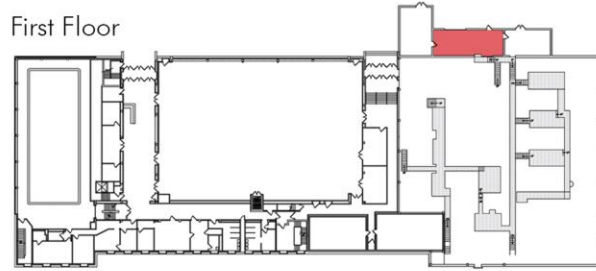
- Men's Locker Room
- Women's Locker Room
- Dance Office
- Dance Storage

## Legend

 Underutilized/Not Required	 Major Renovations
 Spaces to be Relocated	 Minor Renovations
 Temporary Space	 Replace Mechanical Equipment
 Addition	 Install Sprinkler System Only



# Relocate Storage Space



- Relocate garage storage

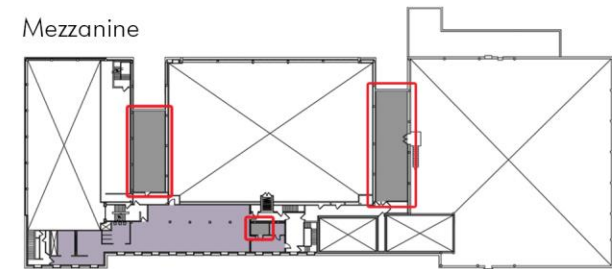
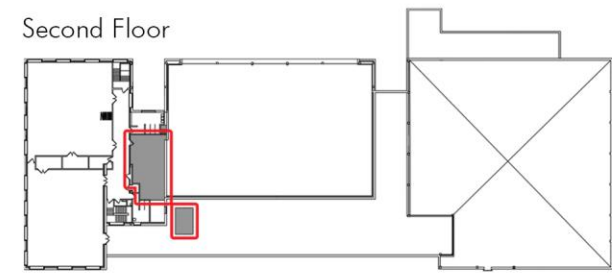
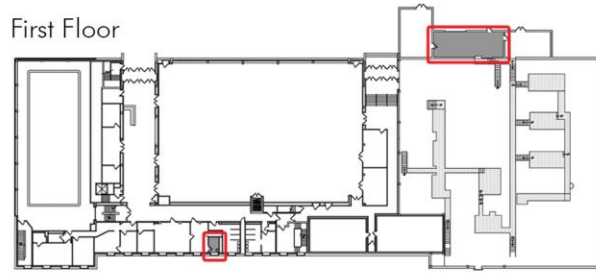
## Legend

- |                                                                                                                  |                                                                                                                     |
|------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------|
|  Underutilized/Not Required |  Major Renovations             |
|  Spaces to be Relocated     |  Minor Renovations             |
|  Temporary Space            |  Replace Mechanical Equipment  |
|  Addition                   |  Install Sprinkler System Only |





# Mechanical Space



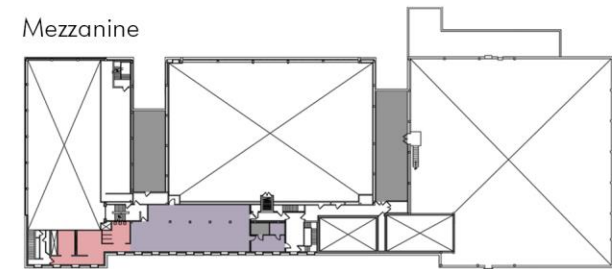
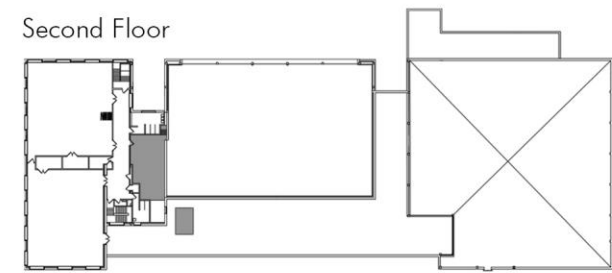
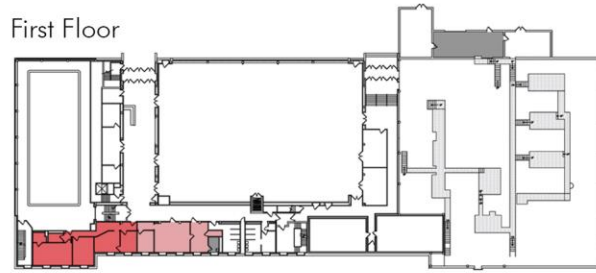
- Replace mechanical system (size systems for new building layout)
- Install new electrical service and generator
- Install new sprinkler service and fire pump
- Optional: Install Air-Conditioning

## Legend

 Underutilized/Not Required	 Major Renovations
 Spaces to be Relocated	 Minor Renovations
 Temporary Space	 Replace Mechanical Equipment
 Addition	 Install Sprinkler System Only



# Phase 1A



- Temporarily relocate EH&S
- Temporarily relocate office and support space to former EH&S office
- Install lockers in men's and women's drying rooms to create temporary locker rooms

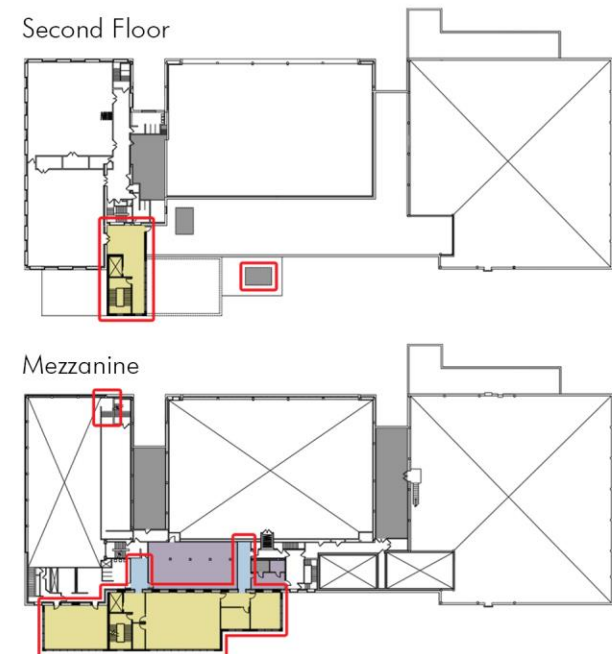
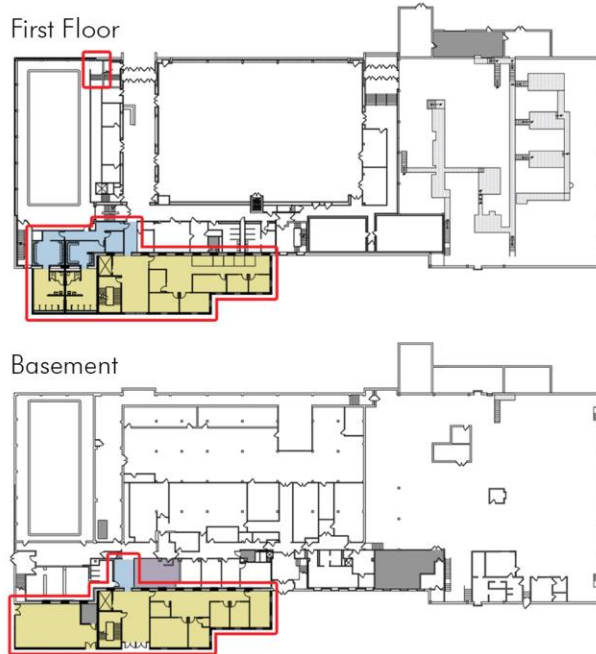
## Legend

 Underutilized/Not Required	 Major Renovations
 Spaces to be Relocated	 Minor Renovations
 Temporary Space	 Replace Mechanical Equipment
 Addition	 Install Sprinkler System Only





# Phase 1B



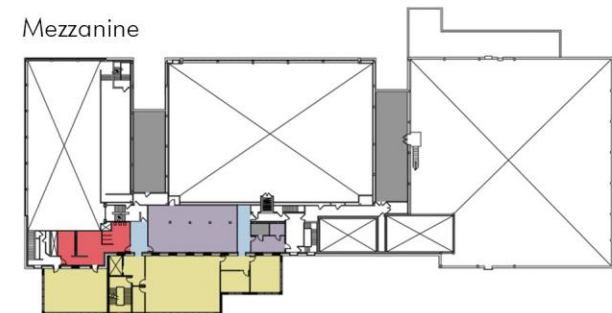
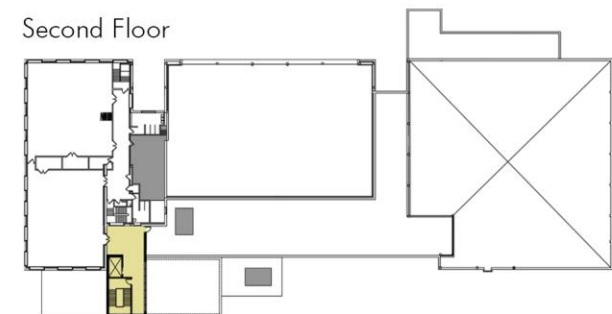
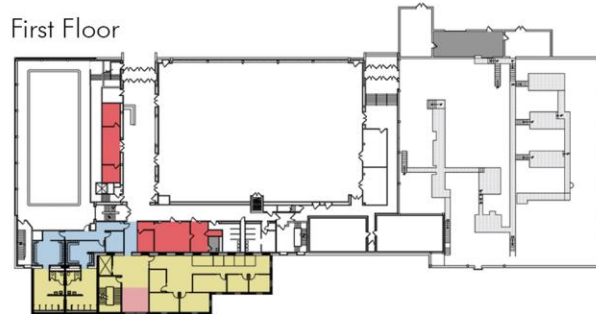
- Construct addition
- Infill existing windows
- Renovate portion of existing building
- Provide second means of egress from pool
- Maintain access to pool during construction

## Legend

 Underutilized/Not Required	 Major Renovations
 Spaces to be Relocated	 Minor Renovations
 Temporary Space	 Replace Mechanical Equipment
 Addition	 Install Sprinkler System Only



# Phase 2A



- Relocate office and support space to temporary and permanent space in addition
- Relocate locker rooms to permanent space on first floor

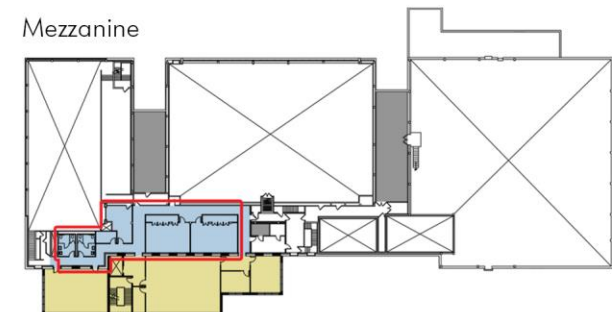
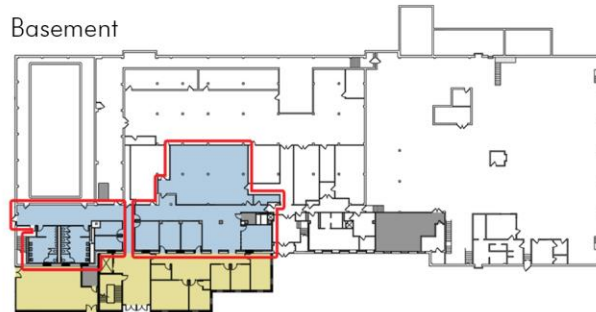
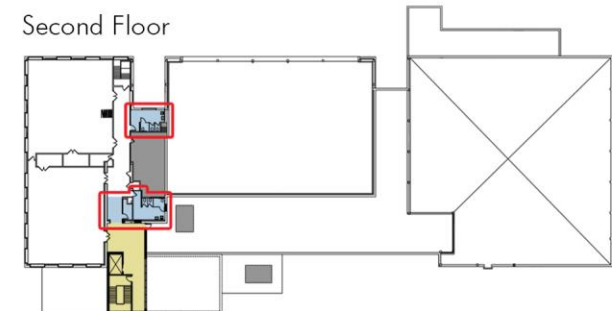
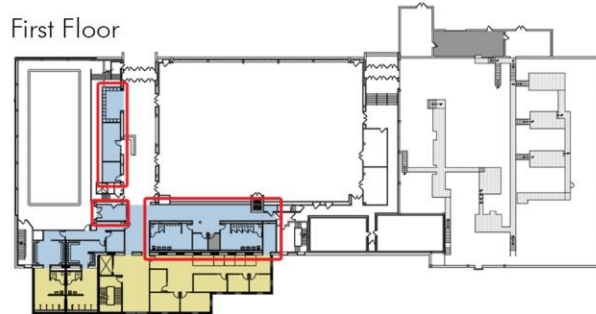
## Legend

 Underutilized/Not Required	 Major Renovations
 Spaces to be Relocated	 Minor Renovations
 Temporary Space	 Replace Mechanical Equipment
 Addition	 Install Sprinkler System Only





# Phase 2B



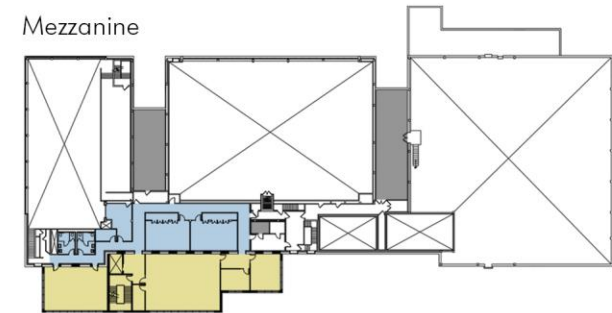
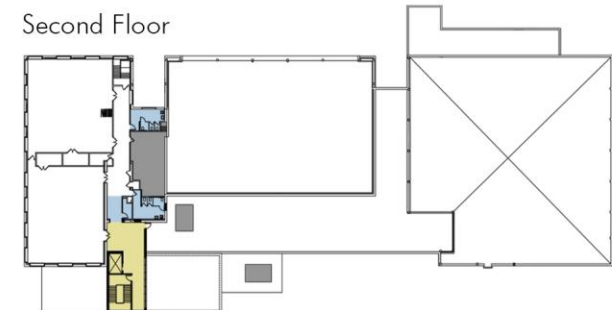
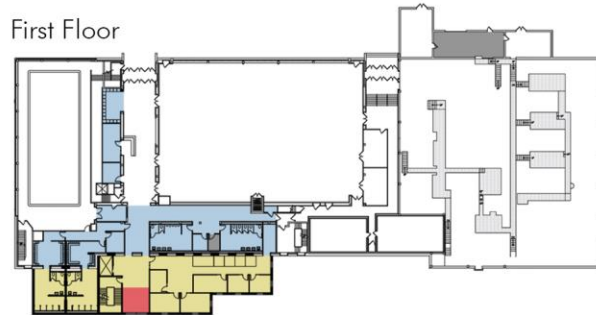
- Renovate second floor toilet rooms
- Create multi-purpose space on mezzanine
- Renovate first floor for office space, support space, and toilet rooms
- Renovate basement for office space, support space, and toilet rooms

## Legend

	Underutilized/Not Required		Major Renovations
	Spaces to be Relocated		Minor Renovations
	Temporary Space		Replace Mechanical Equipment
	Addition		Install Sprinkler System Only



# Phase 3A



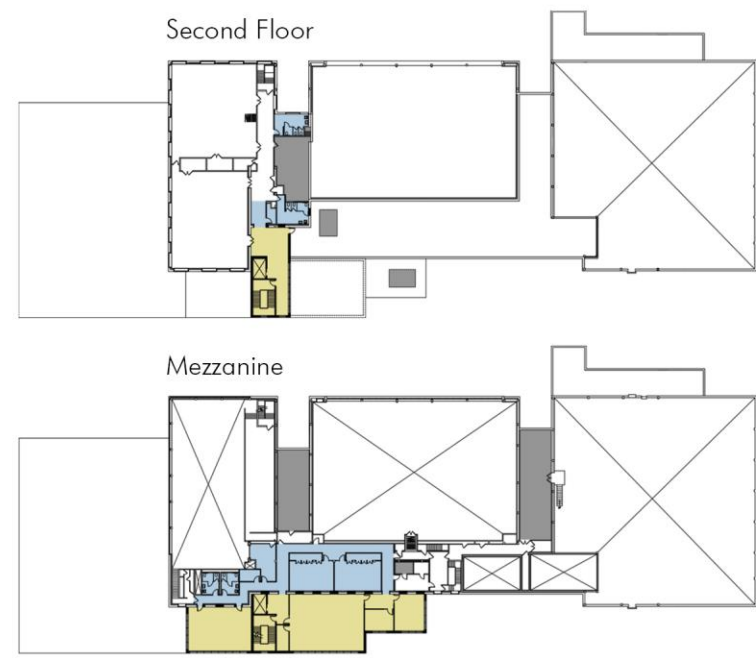
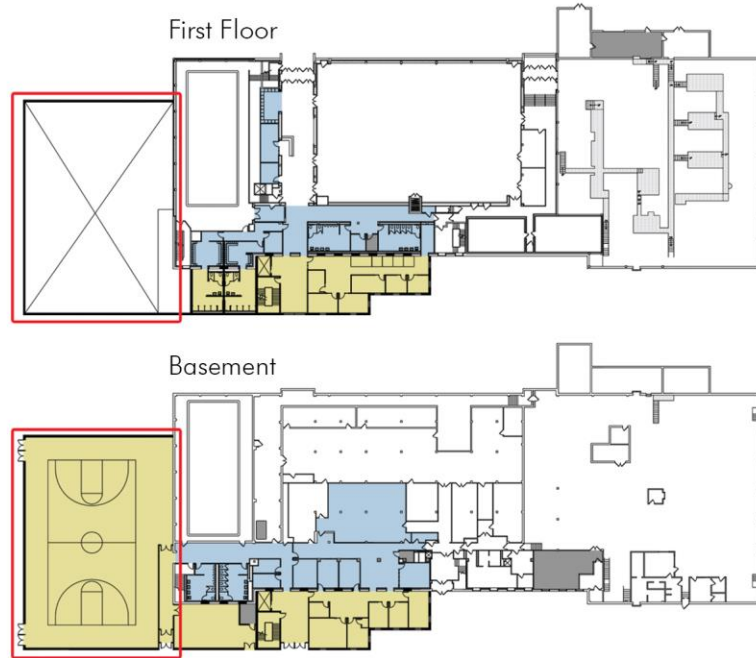
- Relocate EH&S to permanent space in addition
- Relocate office and support space to permanent space in basement and on first floor

## Legend

	Underutilized/Not Required		Major Renovations
	Spaces to be Relocated		Minor Renovations
	Temporary Space		Replace Mechanical Equipment
	Addition		Install Sprinkler System Only



# Phase 3B



- Construct addition

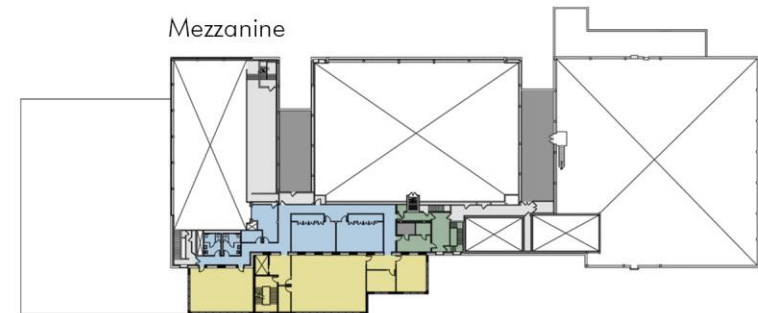
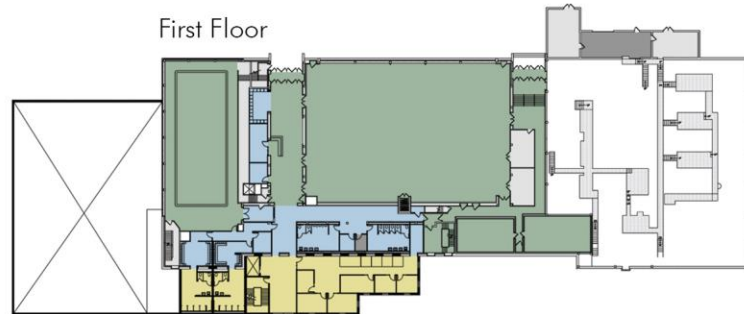
## Legend

- |                                                                                                                  |                                                                                                                     |
|------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------|
|  Underutilized/Not Required |  Major Renovations             |
|  Spaces to be Relocated     |  Minor Renovations             |
|  Temporary Space            |  Replace Mechanical Equipment  |
|  Addition                   |  Install Sprinkler System Only |





# Scope of Work



- Addition: 23,570 GSF
- Major Renovations: 13,900 GSF
- Minor Renovations: 26,370 GSF
- Mechanical Equipment: 5,025 GSF
- Install Sprinkler System Only: 38,445 GSF

## Legend

	Underutilized/Not Required		Major Renovations
	Spaces to be Relocated		Minor Renovations
	Temporary Space		Replace Mechanical Equipment
	Addition		Install Sprinkler System Only



# Cost Estimates



# Square Foot Costs

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Phase 1 Addition	\$290/SF
Phase 3 Addition	\$275/SF
Multi-Purpose Rooms	\$180/SF
Training Rooms	\$125/SF
Equipment Storage	\$100/SF
Office and Support Space	\$155/SF
Locker Rooms/Toilet Rooms	\$325/SF
Circulation Space	\$90/SF
Mechanical System	\$55/SF
Sprinkler System	\$5/SF
Hazardous Material Abatement	\$12/SF



# Other Costs

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Sitework	\$300,000
Remove Stair Adjacent to Pool	\$30,000
Reinforce Roof for Mech. Equip.	\$50,000
New Electrical Service	\$350,000

# Minimal Build-Out



## Single-Phase Project

Major Renovations	\$1,838,000
Minor Renovations	\$1,790,000
Escalation (June 2019)	\$200,000

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**Construction Cost** **\$3,828,000**

Soft Costs (35%) \$1,340,000

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**Project Cost** **\$5,168,000**

Add Electrical Service \$498,000

Add Sprinkler System \$597,000

Add Mechanical Equipment \$6,560,000

Add Hazardous Materials \$1,431,000

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**Project Cost** **\$14,254,000**

# Minimal Build-Out



## New Intramurals & Recreation Building

Gymnasium	9,600 NASF
Multi-Purpose Rooms	4,800 NASF
Student Lounge	300 NASF
Locker Rooms	1,270 NASF
Equipment Storage	900 NASF

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<b>Total NASF</b>	<b>16,870 NASF</b>
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Grossing Factor (1.6)

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<b>Total GSF</b>	<b>27,000 GSF</b>
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# Minimal Build-Out



## **New Intramurals & Recreation Building**

27,000 GSF X \$350/GSF \$9,450,000

Escalation (June 2021) \$1,370,000

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**Construction Cost \$10,820,000**

Soft Costs (35%) \$3,787,000

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**Project Cost \$14,607,000**

# Full Build-Out



## Single-Phase Project

New Construction	\$6,978,000
Major Renovations	\$6,768,000
Minor Renovations	\$1,814,000
Escalation (June 2019)	\$1,167,000

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<b>Construction Cost</b>	<b>\$16,727,000</b>
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Soft Costs (35%)	\$5,854,000
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<b>Project Cost</b>	<b>\$22,581,000</b>
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# Full Build-Out



## Phased Renovation: Option 1

Phase 1	\$7,234,000
Phase 2	\$3,879,000
Phase 3	\$5,226,000
Additional Work	\$8,648,000
<b>Project Cost</b>	<b>\$24,987,000</b>

Each phase includes escalation, phasing premiums, and soft costs



## Phased Renovation: Option 2

Install Air-Conditioning	\$4,543,000
Phase 1	\$7,016,000
Phase 2	\$3,708,000
Phase 3	\$5,511,000
Minor Renovations	\$8,904,000
<b>Project Cost</b>	<b>\$29,682,000</b>

Each phase includes escalation, phasing premiums, and soft costs

# Full Build-Out



## Cost Summary

Project Cost

Delta

Single-Phase Project

\$22,581,000

Phased Renovations: Option 1

\$24,987,000

\$2,406,000

Phased Renovations: Option 2

\$29,682,000

\$7,101,000

# Future Considerations



# Future Considerations



- As part of the future design project, detailed construction phasing plans will be developed that include:
  - Contractor Staging
  - Egress Requirements
  - Location of Temporary Construction Walls
  - Mechanical System Phasing
- The College should consider increasing the size of the generator to include additional life safety loads (fire alarm system, egress lighting) and standby loads (IT, HVAC)
- A comprehensive hazardous materials survey should be completed prior to the work



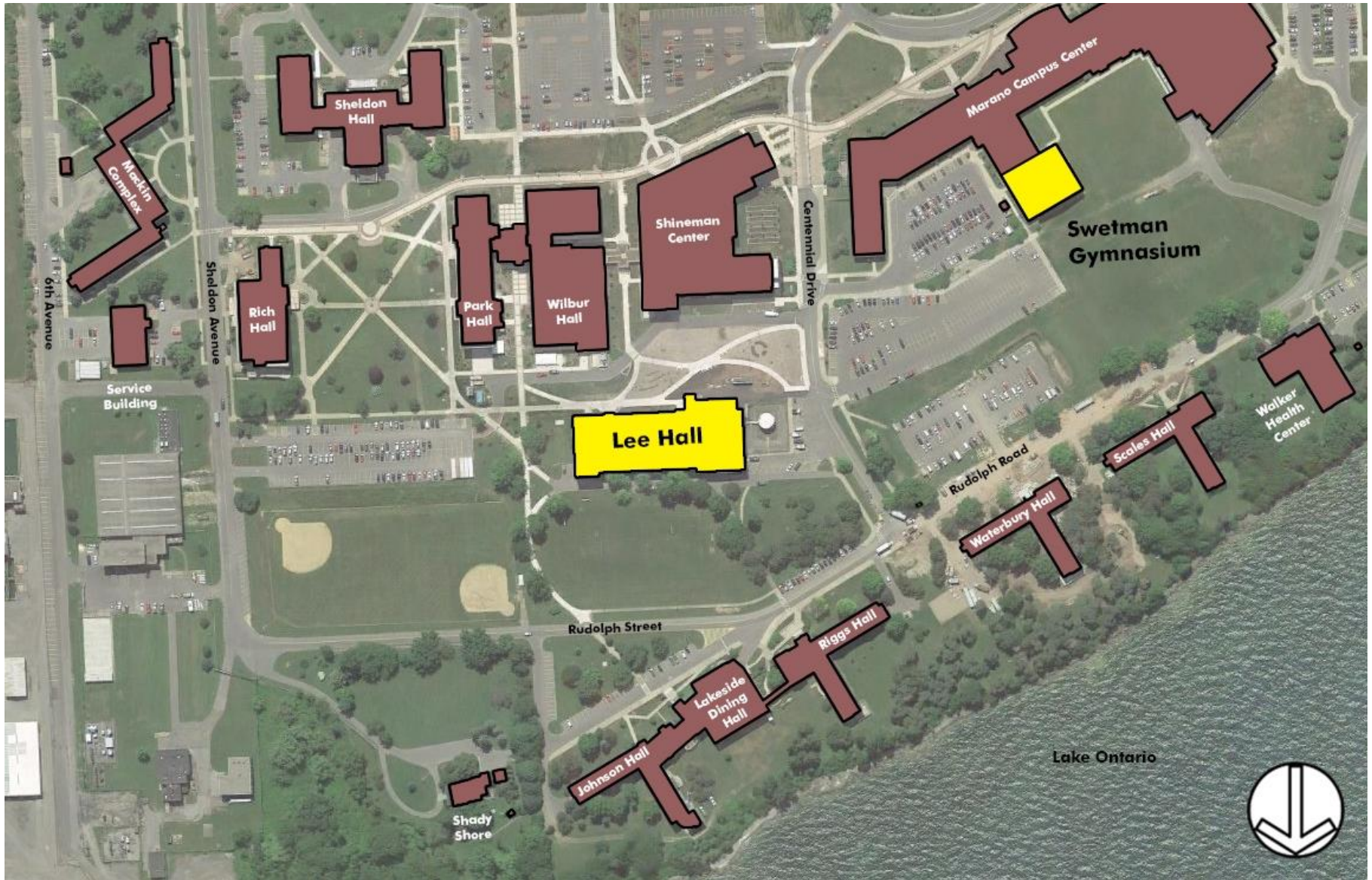
# Next Steps

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- **SUCF & SUNY Oswego Review**
- **Prepare Draft Report**
  - Building Condition Assessment
  - Summary of Programming Interviews
  - Proposed Space Programs
  - Proposed Floor Plans
  - Phasing Strategy
  - Cost Estimates
- **SUCF & SUNY Oswego Review**
- **Prepare Final Report**

# Campus Center Addition



# Option 1

## Scope of Work

-  **Addition (22,900 GSF)**
-  **Existing Building**

Eliminate Approximately  
50 Parking Spaces

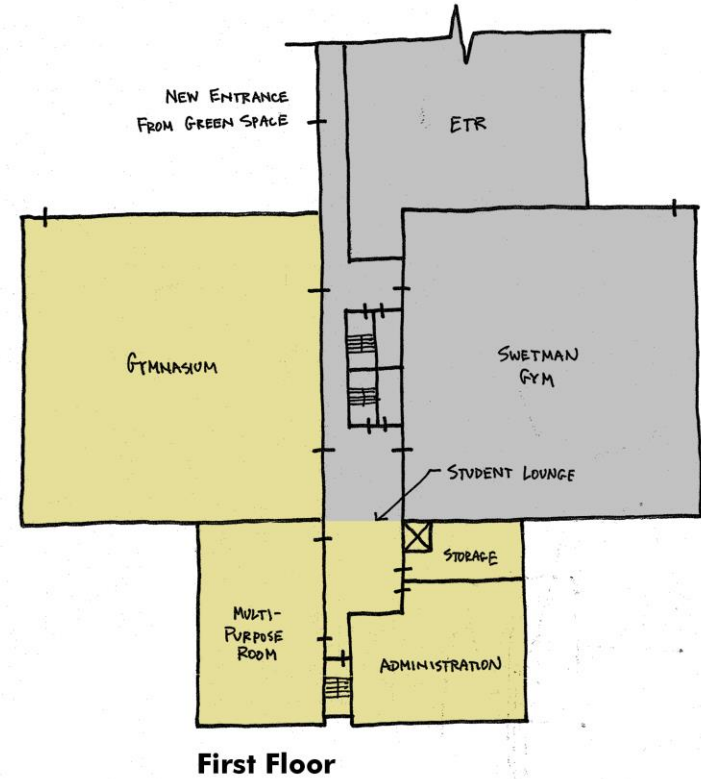
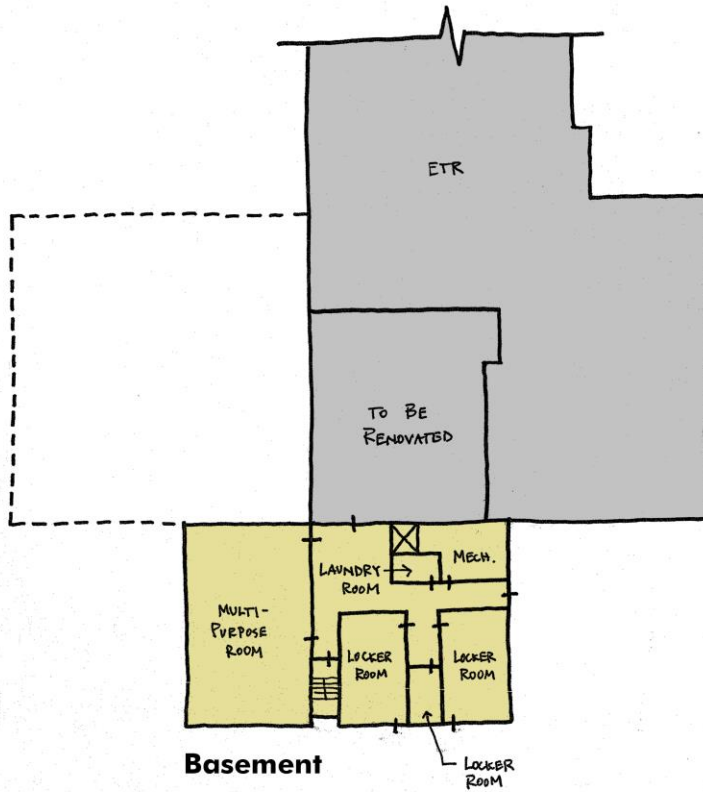




# Option 1



## Scope of Work

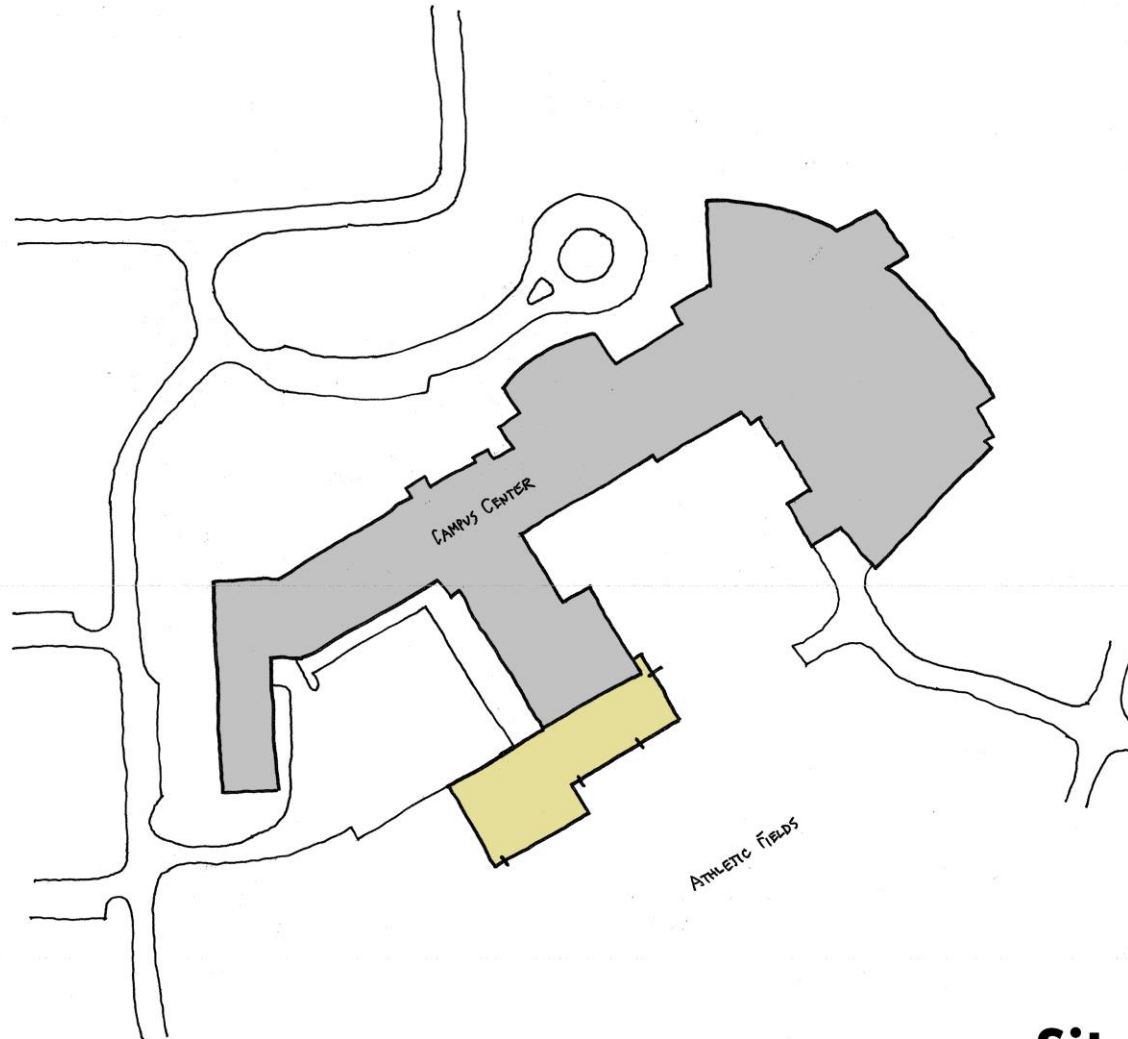
- Addition (22,900 GSF)
- Existing Building



# Option 2


## Scope of Work

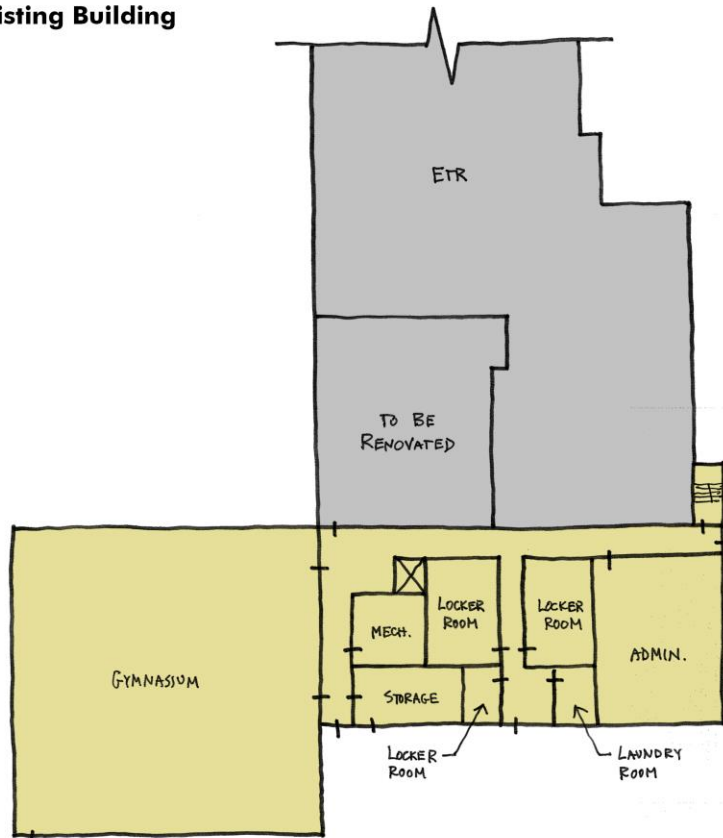
-  Addition (25,800 GSF)
-  Existing Building



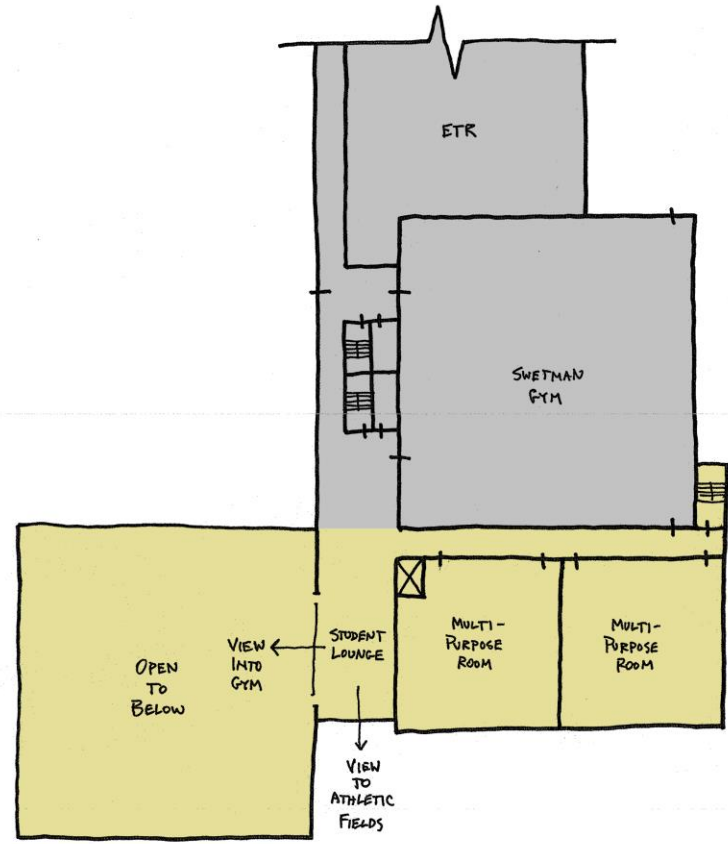
# Option 2

## Scope of Work

-  Addition (25,800 GSF)
-  Existing Building



Basement

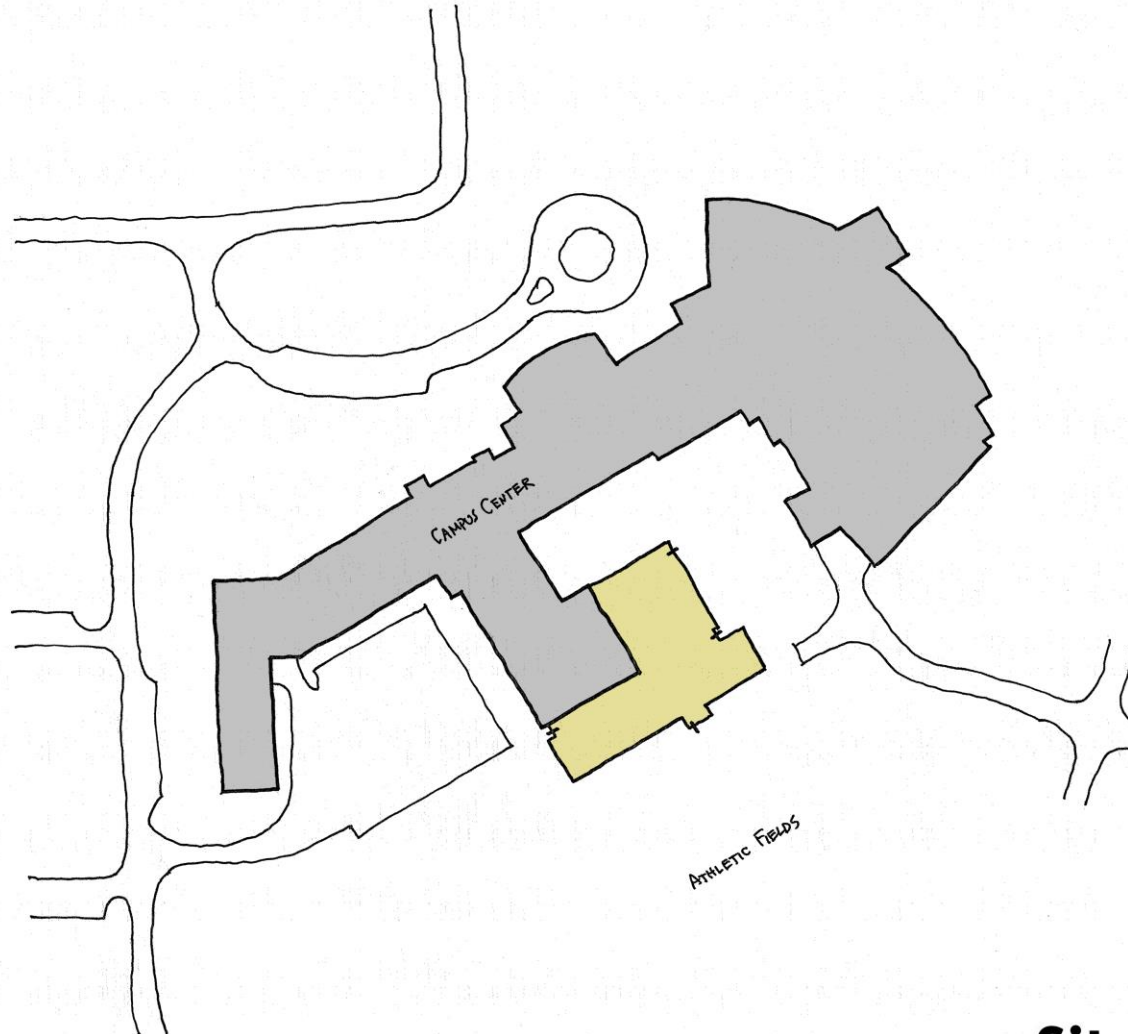


First Floor

# Option 3

## Scope of Work

-  Addition (22,800 GSF)
-  Existing Building





# Option 3

## Scope of Work

-  Addition (22,800 GSF)
-  Existing Building

